

CITY OF UNALASKA, ALASKA  
PLANNING COMMISSION & PLATTING BOARD  
SPECIAL MEETING  
THURSDAY, APRIL 27, 2023  
AGENDA

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**ZOOM Meeting Link:**

<https://us02web.zoom.us/j/89874827348?pwd=b3FmenNYME9IaW5VNjNtQlpCY2k4QT09>

**Meeting ID:** 898 7482 7348    **Access Code:** 712370

**Toll Free Numbers:**    (833) 548 0276            (833) 548 0282            (877) 853 5247            (888) 788 0099

CALL TO ORDER  
ROLL CALL  
REVISIONS TO THE AGENDA  
APPEARANCE REQUESTS  
ANNOUNCEMENTS

MINUTES: Draft minutes from the meeting February 16, 2023

PUBLIC HEARING

1. **RESOLUTION 2023-03:** A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A CELLULAR TOWER ON A LOT ZONED HIGH DENSITY RESIDENTIAL ON A LEASED PORTION OF TRACT A, BLOCK 6, ILULAQ SUBDIVISION, PLAT 89-19, AIRD

OLD BUSINESS

*No Items*

NEW BUSINESS

1. **RESOLUTION 2023-03:** A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A CELLULAR TOWER ON A LOT ZONED HIGH DENSITY RESIDENTIAL ON A LEASED PORTION OF TRACT A, BLOCK 6, ILULAQ SUBDIVISION, PLAT 89-19, AIRD

WORKSESSION

*No Items*

ADJOURNMENT

# Principles of the Unalaska Planning Commission

1. The Position: In any community, the position of Planning Commissioner is a highly respected and honored one.
2. The Job: The job of Planning Commissioner is to serve the public, as representatives of the City Council and to the best of their ability, in ensuring sound planning and growth management in Unalaska. All decisions of the Planning Commission should be based on sound planning principles and practices, and not on the personal opinion of individual Planning Commissioners. Once the Planning Commission makes a recommendation to the City Council, the job of the Planning Commissioners and Planning Commission is over, in terms of that particular action.
3. Integrity: Planning Commissioners are appointed by City Council. The actions, behavior, and comportment of each Planning Commissioner reflect not only on that Planning Commissioner's integrity – but also on the integrity of the City Council and of the entire City government.
4. Collaboration: An individual Planning Commissioner is not a “lone wolf,” but is part of a collective body. As such, each Planning Commissioner is expected to act in a collaborative manner with his and her fellow Planning Commissioners.
5. Respect Each Other: While it is understandable to sometimes disagree with your fellow Planning Commissioners on issues brought before the body, and appropriate to publically vocalize that disagreement during Planning Commission meetings, a Planning Commissioner should always respect the opinion of their fellow Commissioners and treat each other with respect.
6. Majority Rules: It is important to remember that, at the end of the day, the majority rules. So, after each action is brought before the body, discussed, and voted upon, Planning Commissioners must accept and respect the rule of the majority – even if the ruling was counter to an individual Commissioner's position.
7. Respect Staff: A Planning Commissioner should respect the opinion of City Planning Staff, whether the Planning Commissioner agrees with staff or not. Planning Staff Members are professionals who are employed to serve not only the Planning Commission and general public, but the City Council.
8. The Las Vegas Rule: What comes before the Planning Commission must stay before the Planning Commission. This means there can be no outside negotiating with petitioners or with the public regarding applications brought before the Commission. And, all discussions – pro or con – concerning a petition before the Planning Commission, must take place solely within Planning Commission meetings.
9. Respect Applicants and Public: Each Planning Commissioner must always show professionalism and respect for applicants and the general public – regardless of the position held by that Planning Commissioner or by the Planning Commission.
10. Upholding the Principles: Any member of the Planning Commission who finds that he or she cannot uphold and abide by the above principles should resign from the Commission.

## PROCEDURES FOR THE CHAIR

### Approval of Minutes

The Chair states: "The minutes were included in the packet. Are there any corrections to the minutes?" [pause to wait for commissioners to object]. "Hearing none, if there are no objections, the minutes are approved as printed."

OR

If there are objects to the minutes, then...

1. Ask for a motion to approve the minutes as printed. And a second.
2. Facilitate Commission discussion.
3. Amendments will need a motion and a second.
4. When there is no more discussion, call for a vote on any amendments.
5. Continue discussion until there is none further, then call for a vote on the minutes as amended.

### Public Hearings

1. Open the public hearing.
2. Notify the public that they may raise their hand and speak from their seats.
3. Read the title of the first item.
4. Ask if any member of the public wishes to speak to the item. They may do so by raising their hand.
5. When discussion has ended, read the title of the second item.
6. Again ask for public discussion.
7. Continue until all items on the public hearing are complete.
8. NOTE: No commissioners or staff should give any input during the public hearing.

### Resolutions under new business or old business

1. Read the title of the first resolution.
2. Ask for declaration of ex parte communications and conflicts of interest from commissioners.
3. Any question of whether a conflict of interest exists will be settled by a majority vote of the Commission. Members with a conflict will be asked to sit in the audience during this discussion/vote.
4. Ask for staff presentation.
5. Ask for questions from Commissioners of staff.
6. Ask for a presentation from the applicant.
7. Ask for questions from Commissioners of the applicant.
8. Ask for a motion to approve the resolution. And a second.
9. Facilitate commission discussion.
10. If any members of the public have signed up to speak on the topic, they will be given a chance to speak. The chair must set a time limit (such as 2 minutes) to each public comment. Time limits can be objected by commissioners and subsequently put to a vote if necessary.
11. Following public testimony, continue commission discussion until there is nothing further.
12. NOTE: Each member of the public only gets one chance to speak, but anyone who signs up with staff before the commission votes shall be given their one chance to speak before the vote occurs.
13. Call for a vote.
14. Repeat for each resolution on the agenda.

City of Unalaska  
UNALASKA PLANNING COMMISSION

**Regular Meeting**  
**Thursday, February 16, 2022**  
**6:00 p.m.**

P.O. Box 610 • Unalaska, Alaska 99685  
(907) 581-1251  
www.ci.unalaska.ak.us

**Unalaska City Hall**  
**Council Chambers**  
**43 Raven Way**

**Commission Members**  
Ian Bagley  
Virginia Hatfield

Travis Swangel, Chairman

**Commission Members**  
Vicki Williams  
Rainier Marquez

MINUTES

1. Call to order. Commissioner Travis Swangel chaired the meeting. Commissioner Swangel called the Regular Meeting of the Unalaska Planning Commission to order at 6:07 p.m., on February 16, 2023 in the Unalaska City Hall Council Chambers.
2. Roll Call

<u>Present:</u> Travis Swangel Caroline Williams Virginia Hatfield	<u>Absent:</u> Ian Bagley Rainier Marquez
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3. Revisions to Agenda: Commissioner Swangel requested to add a work session item to discuss Commissioner travel to SWAMC. No objections, added to end of meeting.
4. Appearance requests: None
5. Announcements: None
6. Minutes: August 25, 2022 Special Meeting; December 15, 2022 Regular Meeting
  - a. **August 25, 2022 Special Meeting:** Hearing no revisions, minutes accepted with no objection.
  - b. **December 15, 2022 Regular Meeting:** Hearing no revisions, minutes accepted with no objection.
7. Election of Chair and Vice Chair:
  - a. **Chair:** Commissioner Bagley made a motion to nominate Travis Swangel chair, seconded by Commissioner Hatfield. Motion carried 5 – 0
  - b. **Vice Chair:** Commissioner Bagley made a motion to volunteer to be Vice Chair. Seconded by Chair Swangel. Motion carried 5 – 0
8. Public Hearing:
  - a. **RESOLUTION 2023-01:** A Resolution Approving the Planning Commission & Platting Board 2022 Annual Report and Filing the Same with The Unalaska City Council – No Discussion
  - b. **RESOLUTION 2023-02:** A Resolution Approving a Final Plat of Parkside Estates Part 2, A Resub-division of Tract D, Parkside Estates Subdivision, Plat 2011-7 AIRD – No Discussion
9. Old Business: None

10. New Business:

- a. **RESOLUTION 2023-01:** A Resolution Approving the Planning Commission & Platting Board 2022 Annual Report and Filing the Same with The Unalaska City Council
  - i. Commissioner Bagley made a motion to approve Resolution 2023-01, seconded by Commissioner Hatfield. Motion Carried 5-0
- b. **RESOLUTION 2023-02:** A Resolution Approving a Final Plat of Parkside Estates Part 2, A Resub-division of Tract D, Parkside Estates Subdivision, Plat 2011-7 AIRD
  - i. Commissioner Hatfield made a motion to approve Resolution 2023-02, seconded by Commissioner Marquez.
  - ii. After discussion, Commissioner Hatfield made a motion to table Resolution 2023-02 until the June 2023 regular meeting. Motion seconded by Commissioner Williams. Motion Carried 5 – 0.

11. Work session: Item 1: Commissioner Travel To SWAMC

12. Adjournment: Having completed the agenda, the meeting was adjourned without objection at 7:10 p.m.

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William Homka, AICP  
Secretary of Commission

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Travis Swangel  
Commission Chairman

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Date

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Date

**City of Unalaska, Alaska  
Planning Commission/Platting Board  
Staff Report**

**RESOLUTION 2022-03: A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A CELLULAR TOWER ON A LOT ZONED HIGH DENSITY RESIDENTIAL ON A LEASED PORTION OF TRACT A, BLOCK 6, ILULAQ SUBDIVISION, PLAT 89-19, AIRD**

Basic Information	
<b>Application Type</b>	Conditional Use Permit
<b>Land Owner(s)</b>	Ounalashka Corporation
<b>Applicant</b>	OptimERA, Inc.
<b>Proposed Use</b>	Cellular Phone Tower
<b>Exhibits</b>	Draft Resolution 2023-03, CUP Application, Supplemental Materials, Location Map
<b>Staff Recommendation</b>	Approval of Resolution 2023-03

Legal Information	
<b>Tax Parcel ID</b>	04-03-440
<b>Address</b>	Approximately 75 Chernofski Drive, Unalaska, Alaska 99685
<b>Legal Description</b>	Tract A, Block 6, Ilulaq Subdivision, Plat 89-19, AIRD
<b>Land Use Subarea</b>	Standard Oil Hill

Area Description	
<b>North</b>	Single-Family/Duplex, High Density Residential
<b>South</b>	High Density Residential, Marine Related Industrial
<b>East</b>	Marine Related Industrial
<b>West</b>	Single-Family/Duplex, High Density Residential

Current Site Description and Zoning Standards				
<b>Zone</b>	High Density Residential (HDR) (UCO §8.12.060)			
<b>Existing Use</b>	Undeveloped			
<b>Permitted Uses</b>	1) Any number or combination of residential dwelling units 2) Not more than four mobile homes on one lot 3) Day-care for five or less children 4) Home occupations 5) Commercial greenhouses 6) Outdoor storage of subsistence and noncommercial fishing gear, boats, nets, buoys and related equipment 7) Public recreational areas, parks, playgrounds, hiking trails			
<b>Conditional Uses</b>	1) Schools 2) Churches 3) Day-care for more than five children 4) Public and quasi-public buildings essential to the physical and economic welfare of the area, such as utility buildings and facilities, fire stations, electric substations, water treatment plants, telephone exchanges, and similar uses or public services 5) Mobile home parks 6) Professional offices, including professional offices in a residence 7) Hospitals, clinics, homes for the aged, group homes, nursing homes, and convalescent homes 8) Halfway houses and safe houses 9) Marinas 10) Bed and breakfasts, lodging houses, and boarding houses 11) Hotels and motels, including bars, restaurants, and other tourist facilities			
	Existing	Required	Proposed	Required
<b>Lot Area</b>	+/- 10,029 ft <sup>2</sup>	>10,000 ft <sup>2</sup>	<b>Front Setback</b> 75.07 ft	20 ft
<b>Lot Frontage</b>	56 ft	>60 ft	<b>Side Setbacks</b> 20.03/23.03 ft	10 ft
<b>Coverage</b>	1.06 %	<50 %	<b>Rear Setback</b> 26.91 ft	20 ft
<b>Building Height</b>	40 ft	<50 ft	<b>Parking</b>	2 spots

<b>Corner Lot?</b>	Yes	<b>Nonconformance?</b>	No
<b>Parcel History</b>			
<b>Planning Commission Resolution</b>	N/A		
<b>City Council Ordinance</b>	N/A		

**ADDITIONAL CODE REQUIREMENTS**

N/A

**PLAN GUIDANCE**

1. The Overall Quality of Life section of the Comprehensive Plan identifies improving and lowering the cost of Internet, cable and phone service as a goal. The Plan specifically identifies the construction of new cell tower sites as a primary action to improve quality of life.

**BACKGROUND**

1. Tract A was at one point a projected site for several condo units to be constructed, however OC chose not to construct these units.
2. Tract A slopes 30 feet from its peak on Chernofski Drive to Biorka Drive. The topography makes site considerations for large scale construction somewhat expensive but not insurmountable.
3. The tower is planned for just outside of a preexisting easement which used to be an extension of Delta Way. The area already includes a 30-40 ft. City tsunami siren in close proximity within that easement.
4. There is plenty of parking on the lot for service vehicles.

**DETAILED FINDINGS**

1. The proposed structure would meet all setback requirements for the zone.
2. High Density Residential lots have a maximum building height of 50 feet. The proposed tower is 41 feet, 10 inches.
3. Utility buildings and facilities, including “telephone exchanges,” are identified in City Code as appropriate conditional uses in High Density Residential districts (§8.12.060(D)(4)).
4. Furthers the goals and objectives of the Comprehensive Plan:
  - Construction of new cell tower sites is identified as a primary action to improve quality of life in the 2020 Comprehensive Plan.
5. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district:
  - Item number 4 in the Conditional Uses list of the High-Density Residential code specifically calls out Public/Quasi-Public uses buildings essential to the physical and economic welfare of the area, such as utility buildings and facilities, ... telephone exchanges, and similar uses or public services
  - A cell tower would support growing community needs and improve reliability of communications for all residents.
  - Historically, Unalaska has allowed small cell towers near residential structures. Buildings surrounding the proposed tower would be outside of the standard 44-foot (1.1 x height) fall zone for a similar use, windmills. The tower has a nearly 1.5x height fall zone to the next nearest building (it falls approximately 2 feet short of the full 1.5x).
6. Will not have a permanent negative impact substantially greater than anticipated from permitted development within the district:
  - The tower would cause limited traffic on Chernofski Drive or Kovrizhka Street compared to a new residential development and is not expected to cause excessive noise or other disturbances.

**CONDITIONS**

1. N/A

**RECOMMENDATION**

In accordance with the standards outlined in Unalaska City Code of Ordinances Chapter 8.12 (Zoning), the City of Unalaska Department of Planning recommends approval of this conditional use request identified in Resolution 2023-03.



**PROPERTY LEGAL DESCRIPTION:** (Fill in applicable blanks)

Tax Lot ID No.: \_\_\_\_\_ Lot : \_\_\_\_\_ Block: \_\_\_\_\_ Tract: \_\_\_\_\_

Subdivision: \_\_\_\_\_ USS: \_\_\_\_\_

Section(s): \_\_\_\_\_ Township: \_\_\_\_\_ Range: \_\_\_\_\_

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**PROPOSED FUTURE DESIGNATION OF PROPERTY: (For Plat Application Only)**

Platting Procedures and Requirements are described in detail in Chapter 8.08: Platting and Subdivision. A certificate to plat as proof of ownership shall accompany the submittal of a plat.

**SUBDIVISION** \_\_\_\_\_

**Block(s)** \_\_\_\_\_ **Lot (s)** \_\_\_\_\_ **Tract (s)** \_\_\_\_\_ **USS** \_\_\_\_\_

**Containing:** \_\_\_\_\_ **Acre(s)** \_\_\_\_\_ **Lot(s)** \_\_\_\_\_ **Tract(s)** \_\_\_\_\_

**SURVEYOR INFORMATION**

Surveyor Name : \_\_\_\_\_

Firm Name : \_\_\_\_\_

Address : \_\_\_\_\_

Contact Details : Email \_\_\_\_\_ Phone Number \_\_\_\_\_

Registered in Alaska: Yes No

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**REQUIRED SUPPLEMENTAL INFORMATION (For Variance, Zone Amendment and Conditional Use Application Only).**

**Subdivision Variance (8.08.110)**

Applicant is encouraged to submit supporting documentation and a site plan to demonstrate how the requested Variance:

- Is needed due to special circumstances or conditions affecting the proposed subdivision such that strict application of the provisions of this chapter would clearly be impractical or undesirable to the general public or that strict application would be unreasonable or cause undue hardship to the applicant requesting the variance.
- Will not be detrimental to the public welfare or injurious to other property in the area in which the proposed subdivision is located;
- Will be in accord with the intent and purpose of this chapter and of the Comprehensive Plan of the city.

**Zone Amendment (8.12.190)**

Applicant is encouraged to submit supporting documentation to demonstrate how the requested Zone Amendment is reasonable, in the public interest, and in conformance with the goals and objectives of the Comprehensive Plan.

**Conditional Use (8.12.200)**

Applicant is encouraged to submit supporting documentation and a site plan to demonstrate how the requested Conditional Use:

- Furthers the goals and objectives of the Comprehensive Development Plan;
- Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district; and
- Will not have a permanent negative impact substantially greater than anticipated from permitted development within the district.

**Zoning Variance (8.12.210)**

Applicant is encouraged to submit supporting documentation and a site plan to demonstrate how the requested Variance:

- Need is not caused by the person seeking the variance and that exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zoning district, and result from lot size, shape, topography, or other circumstances over which the applicant has no control. An argument of “financial hardship” when defined as causing a developer to spend more than he is willing to in order to conform, is not an over-riding factor in the granting of a variance;
- Is necessary for the preservation of a property right of the applicant substantially the same as is possessed by other landowners in the same zoning district;
- Will not materially affect the health or safety of persons residing or working in the neighborhood and will not be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood; and
- Will not be materially detrimental to the intent of this chapter, or to properties in the same zoning district in which the property is located, or otherwise conflict with the objectives of the Comprehensive Plan and the variance requested is the minimum variance, which would alleviate the hardship.

**\*SITE PLAN (TO SCALE):** Please show all existing and proposed structures, access, dimensions, utilities and parking as appropriate.

**PLEASE NOTE :** All applications must be received fifteen (15) days prior to the next regular meeting of the Planning Commission as per Section 8.12.200(A)(2), Section 8.12.210(B)(2) UCO, and Section 8.12.190 UCO. The Department of Planning will provide an examination of the City of Unalaska Real Property Tax Roll indicating that the signature of the landowner on the application form is in fact the latest owner of record. The Department of Planning will mail a notice of the public hearing to all landowners of record within 300 feet of the proposed request as shown in the City of Unalaska Real Property Tax Rolls.

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**CERTIFICATION:**

I hereby certify that (I Am) (I have been authorized to act for\*) the owner of the property described above and that I desire a planning action for this property in conformance with the Title 8, UCO and hereby dispose and say that all of the above statements are true. I am familiar with the code requirements and certify, to the best of my knowledge, belief, and professional ability, that this application meets them. I understand that payment of the review fee is non-refundable and is to cover costs associated with the processing of this application and that it does not assure approval of the request.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

**\*Please fill out and submit Authorization to Make Application by Agent form if acting as Owner’s Agent**



**To: City of Unalaska**  
**From: OptimERA Holdings Inc**  
**Date: 3/11/2023**  
**Re: Building Permit Application – Standard Oil, Leased Site**

**Standard Oil ARE Monopole LTE Site Install – OptimERA xG**

**Project Description:**

Installation of an approximately 40' self-supporting ballasted foundation monopole structure on an existing leased parcel owned by the Ounalashka Corporation. The Site has no existing utilities, and no excavation is planned in the ROW for the project. No water or Sewer utilities are being requested. Scope of the project is for no excavation, site leveling and compaction only. Only excavation will be for the installation of a short trench for requested utility power services to be mounted adjacent to the Ballasted foundation.

In addition to the ballasted foundation, post tower construction a 6' security fence shall be placed on the lease boundary.

**Construction:**

All construction shall be in accordance with the equipment manufacturers approved installation methods or equivalent means. All work herein and incidental work not shown shall be constructed in conformance with the applicable building codes adopted in Alaska 18AAC 75 including the IBC, IRC, NESC, UPC, IFC, IMC, IFGC and all other local, state, and federal regulations. FAA avoidance and antenna registration completed and attached.

The site is currently zoned High Density Residential, accompanying this request is a Condition Use permit to request to use the leased parcel in alignment with the Public Quasi/Public Zoning guidelines to accommodate a cell tower and accompanying facilities.

**Site Location:**

Leased parcel:

Unsubdivided: Approximately 10,000± SF located within a portion of Block 6, Ilulaq Subdivision, according to the official plat thereof, filed under plat No. 79-3, in the Aleutian Islands Recording District, Third Judicial District, State of Alaska. on Amaknak Island as shown in the attached Drawings (Sheet x of x – STOIL-xxx-xxx).



**Drawings/Sheets:**

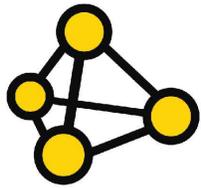
- STND-APP-COV (1 sheet)
- STND- SITE -001 (1 Sheets)
  - Site Plan
- STND-EL – 001 thru 003 - (3 Sheets)
  - Electrical Overview

**Attachments:**

- Attachment #1 - PLANNING REQUEST APPLICATION FORM – Conditional Use - OptimERA xG-20230311
- Attachment #2 -- FAA Standard Oil OSI\_66'\_ FAA Determination\_07182022 - OptimERA xG-20230311
- Attachment #3 -- 21222-0016\_UNALASKA\_SA\_REPORT\_Sealed - OptimERA xG-20230311
- Attachment #4 -- 21222-0016\_UNALASKA\_SA\_Drawings\_Sealed - OptimERA xG-20230311
- Attachment #5 - Optimera - Standard Oil Hill Lease - Final\_sg\_ms\_Red - OptimERA xG-20230311
- Attachment #6 Form A – City of Unalaska, Application for Building Permit - OptimERA xG-20230311
- Attachment #7 Form B – City of Unalaska, Utility Service Request Form - OptimERA xG-20230311

*Matt Scott*

Matthew M Scott  
Chief Operations Officer  
State of Alaska Electrical Administrator, EADE2030  
OptimERA Holdings Inc.



# OptimERA xG

## Standard Oil Monopole LTE Site Install - OptimERA xG

Project Location

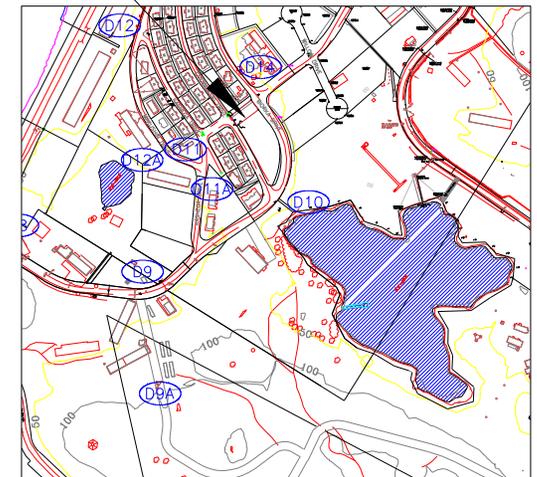
**Address:**

Chernofski Dutch Harbor, Alaska, Amaknak Island, Aleutians West

**Legal Description:**

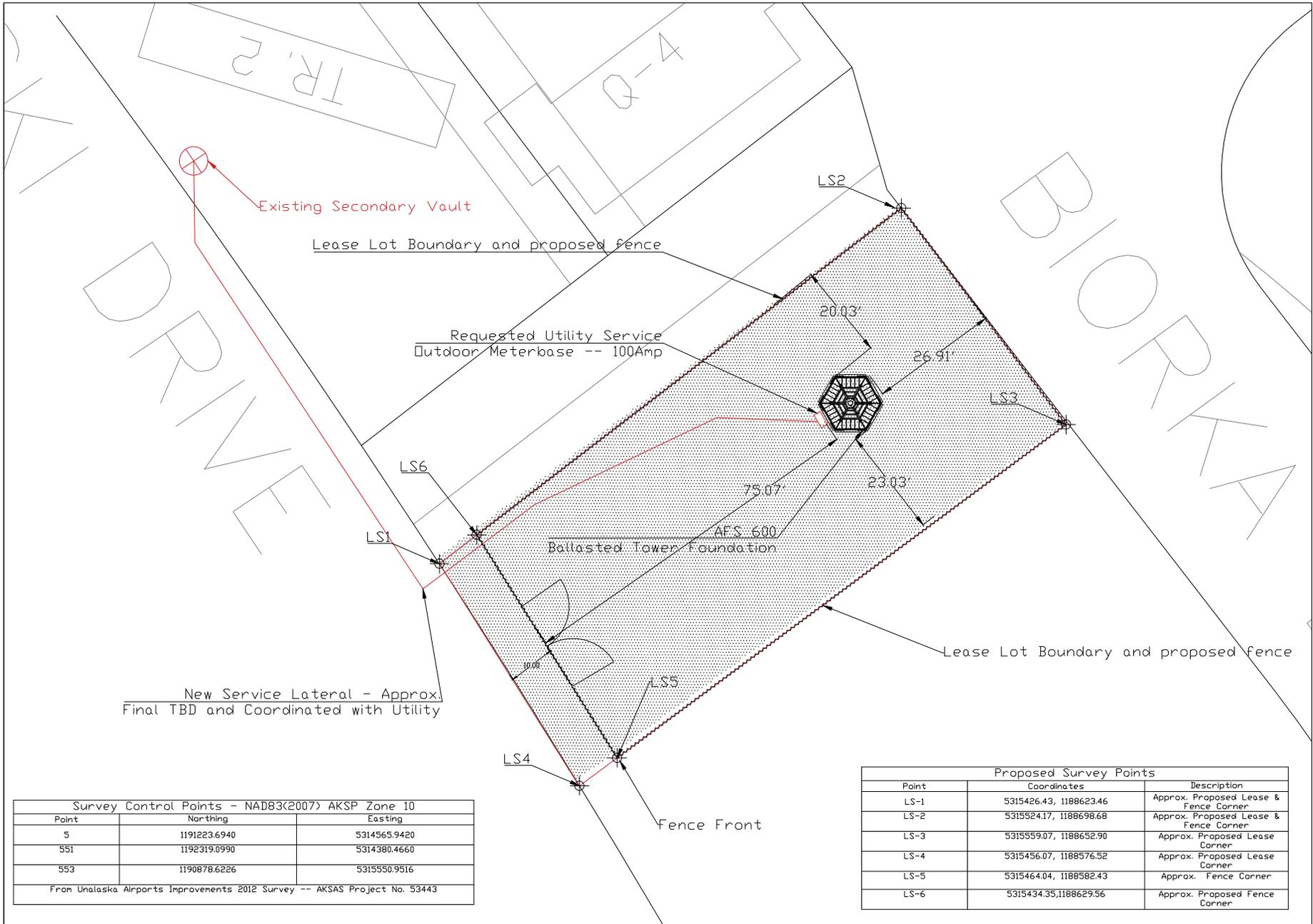
Unsubdivided, Approximately 800± SF leased lot located within a portion of Sec.34, T72S, R117W, S.M. on Amaknak Island

**Note:** All work herein and incidental work not shown shall be constructed in conformance with the applicable building codes adopted in Alaska 18AAC 75 including the IBC,IRC,NESC,UPC,IFC,IMC,IFGC and all other local, state and federal regulations.



OPTIMERA PROPRIETARY AND COMPETITION SENSITIVE | All Rights Reserved

<small>OPTIMERA HOLDINGS INC. "OPTIMIZING TECHNOLOGY FOR A NEW ERA" P.O. Box 92124 Dutch Harbor, Alaska 99692</small>		<small>DUNALASHKA CORPORATION LEASED SITE -OPTIMERA</small>			
		<b>LTE MICRO SITE STANDARD OIL HILL COVER</b>			
<small>CHECKED</small>	<small>DRAWN</small>	<small>DATE</small>	<small>SCALE</small>	<small>DRAWING NO.</small>	<small>SHEET</small>
....	MMS	3/11/2023	NTS	STND-APP-COV	1 of 1



Survey Control Points - NAD83(2007) AKSP Zone 10		
Point	Northing	Easting
5	1191223.6940	5314565.9420
551	1192319.0990	5314380.4660
553	1190878.6226	5315550.9516

From Unalaska Airports Improvements 2012 Survey -- AKSAS Project No. 53443

Proposed Survey Points		
Point	Coordinates	Description
LS-1	5315426.43, 1188623.46	Approx. Proposed Lease & Fence Corner
LS-2	5315524.17, 1188698.68	Approx. Proposed Lease & Fence Corner
LS-3	5315559.07, 1188652.90	Approx. Proposed Lease Corner
LS-4	5315456.07, 1188576.52	Approx. Proposed Lease Corner
LS-5	5315464.04, 1188582.43	Approx. Fence Corner
LS-6	5315434.35, 1188629.56	Approx. Proposed Fence Corner

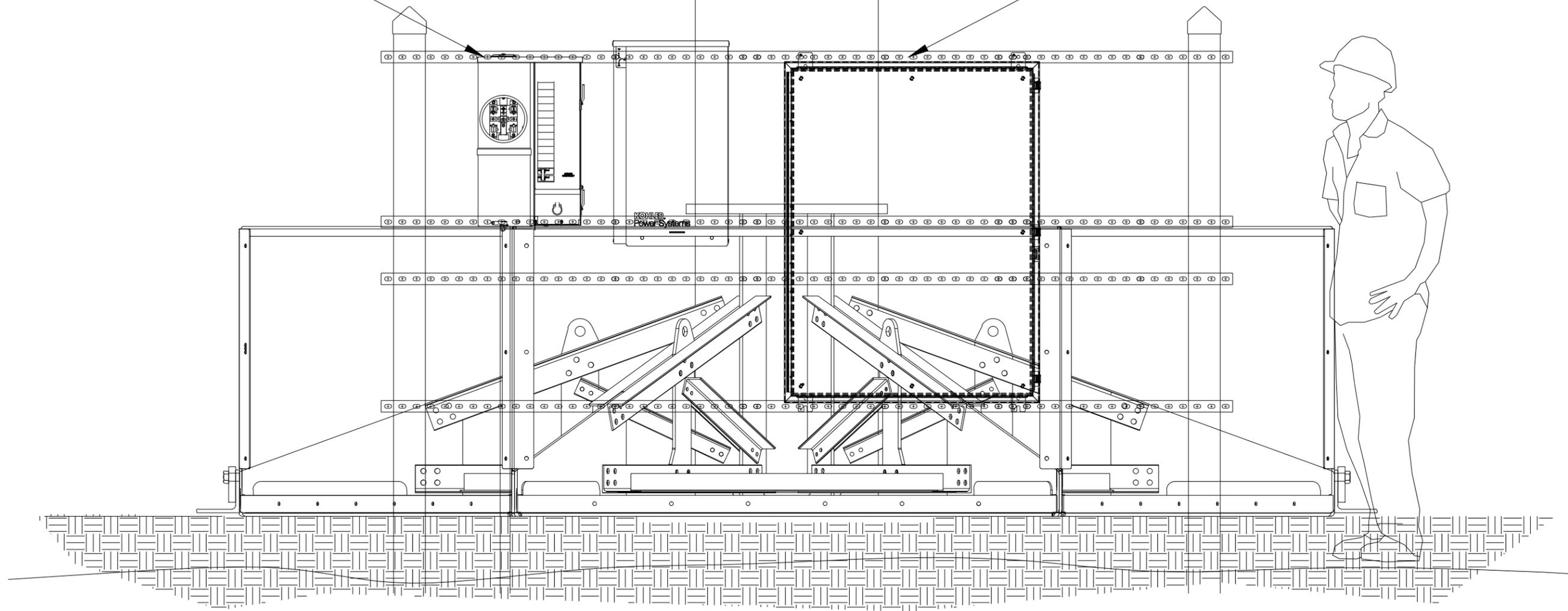
OPTIMERA PROPRIETARY AND COMPETITION SENSITIVE | All Rights Reserved

<b>OPTIMERA HOLDINGS INC.</b> <small>"Optimizing Technology for a New Era"</small> P.O. Box 921124 Dubai Harbor, Alaska 99692		<b>DUNALASHKA CORPORATION LEASED SITE - OPTIMERA</b> <b>LTE MICRO SITE</b> <b>STANDARD OIL HILL</b> COVER			
CHECKED	DRAWN	DATE	SCALE	DRAWING NO.	SHEET
....	MMS	3/11/2023	NTS	STND-SITE-001	1 of 1

Meter Base  
100 AMP  $\frac{120}{240}$  1ph

MonoPole ARE

Network Equipment Enclosure



OPTIMERA Inc. | All Rights Reserved

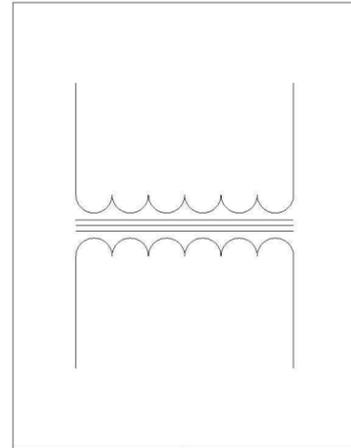
OPTIMERA HOLDINGS INC.  
"OPTIMIZING TECHNOLOGY FOR A NEW ERA"  
P.O. Box 921134  
Dutch Harbor, Alaska 99692

STANDARD OIL TOWER SITE

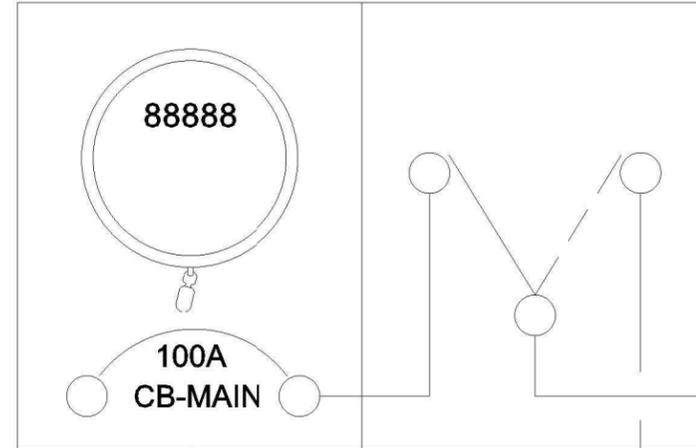
MONOPOLE CELL SITE  
ELECTRICAL LAYOUT OVERVIEW

CHECKED ....	DRAWN MMS	DATE 3/11/2023	SCALE NTS	DRAWING NO. STND-EL - 001	SHEET 1 of 3
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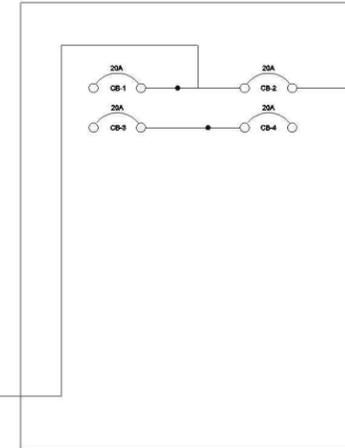
**UTILITY TRANSFORMER**



**METERBASE - XFER Switch**



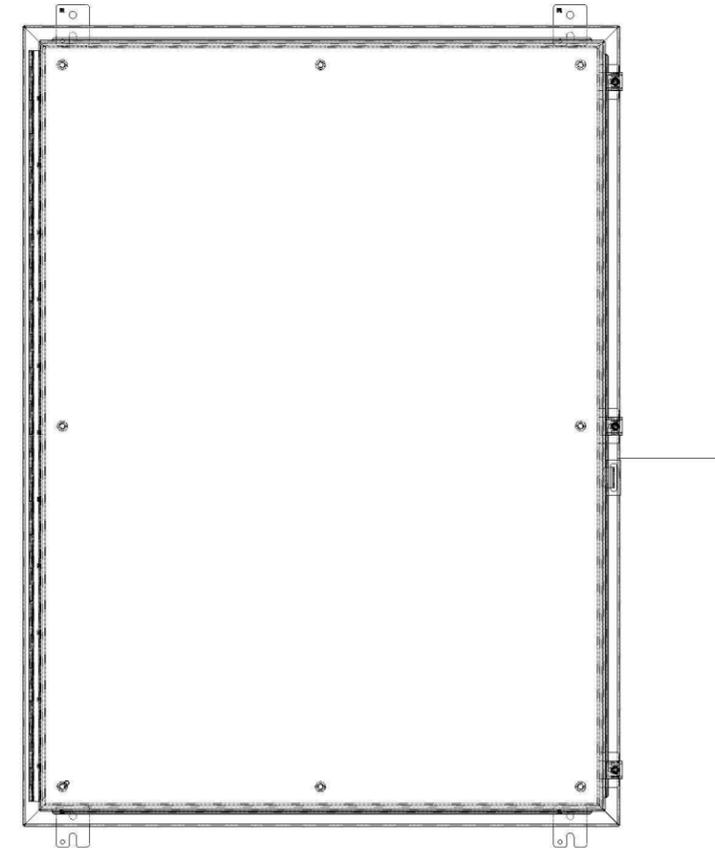
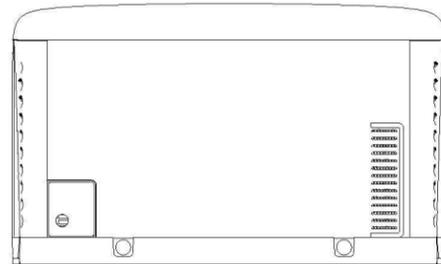
**MDP**



2" PVC sch 80

2" PVC sch 80  
Secondary 240/120  
\*Trench and conduit by Utility

**KOHLER 8KW  
EMERGENCY GENERATOR**

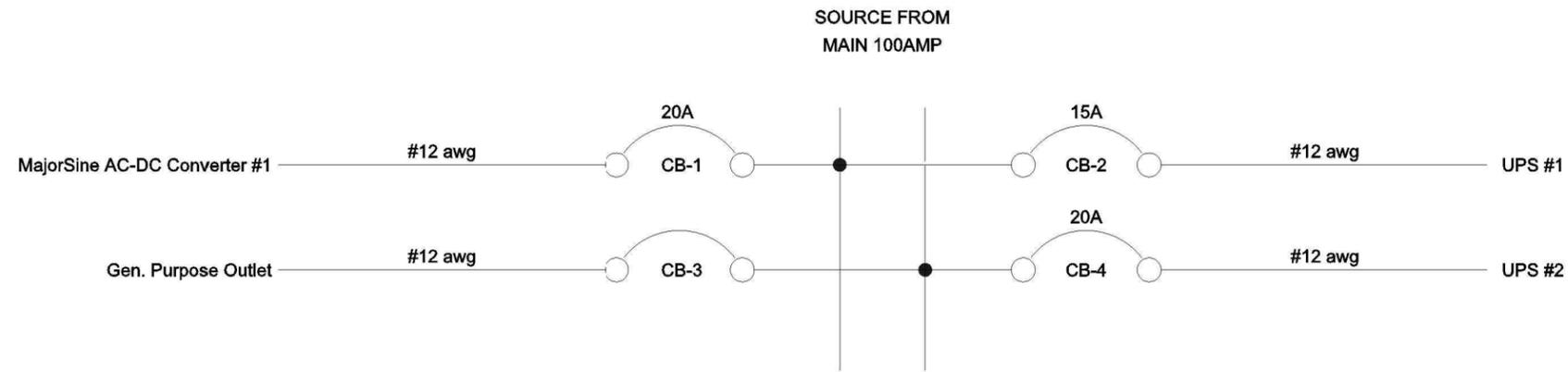


**Hoffman Enclosure Type 4x - or equiv.**

\*\*All electrical new construction to be installed in compliance with State and/or Local laws and ordinances.  
Work shall be supervised by a State of Alaska Electrical Administrator

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OPTIMERA HOLDINGS INC. "OPTIMIZING TECHNOLOGY FOR A NEW ERA" P.O. Box 921134 Dutch Harbor, Alaska 99692		STANDARD OIL TOWER SITE			
		MONOPOLE CELL SITE ELECTRICAL ONE-LINE			
CHECKED	DRAWN	DATE	SCALE	DRAWING NO.	SHEET
....	MMS	3/11/2023	NTS	STND-EL - 002	2 of 3



\*\*All electrical new construction to be installed in compliance with State and/or Local laws and ordinances.  
Work shall be supervised by a State of Alaska Electrical Administrator

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<b>OPTIMERA HOLDINGS INC.</b> <small>"OPTIMIZING TECHNOLOGY FOR A NEW ERA"</small> P.O. Box 921134 Dutch Harbor, Alaska 99692		<b>STANDARD OIL TOWER SITE</b>			
		<b>MONOPOLE CELL SITE ELECTRICAL PANEL CIRCUIT LAYOUT</b>			
CHECKED	DRAWN	DATE	SCALE	DRAWING NO.	SHEET
....	MMS	3/11/2023	NTS	STND-EL - 003	3 of 3

# PROPOSED 41'-9 3/4" MONOPOLE

## SITE: UNALASKA, AK

UNALASKA, ALASKA

ALEUTIANS WEST COUNTY

LAT: 53° 53' 19.24"; LONG: -166° 32' 27.53"

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 250 E Broad St. Ste 600 Columbus, OH 43215  
 Phone 614.221.6679 www.pauljford.com  
**ARE TELECOM INCORPORATED**  
 1043 GRAND AVE #213 ST PAUL, MN 55105  
 PH: (240) 584-9714

PROJECT CONTACTS	
CLIENT: ARE TELECOM INCORPORATED CONTACT: FLAUBERT ZINKIA AT FZINKIA@ARETELECOM.COM PH: (240) 584-9714	
ENGINEER OF RECORD: PJFTELECOM@PAULJFORD.COM	

WIND DESIGN DATA	
REFERENCE STANDARD	ANSI/TIA-222-G-2-2009
LOCAL CODE	2012 IBC
ULTIMATE WINDSPEED (MPH)	158
ICE THICKNESS (IN)	0.25
ICE WIND SPEED (MPH)	70
SERVICE WIND SPEED (MPH)	60
RISK CATEGORY	II
EXPOSURE CATEGORY	D
MAXIMUM TOPOGRAPHIC FACTOR, K <sub>ZT</sub>	1.0

SEISMIC DESIGN DATA	
SEISMIC IMPORTANCE FACTOR	1.0
S <sub>s</sub>	1.5
S <sub>1</sub>	0.6
SITE CLASS	D
S <sub>DS</sub>	1
S <sub>D1</sub>	0.6
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM	MONOPOLE
DESIGN BASE SHEAR (KIPS)	2.067
C <sub>s</sub>	0.375
R	1.5
SEISMIC ANALYSIS PROCEDURE	MODAL ANALYSIS PROCEDURE

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
N-1	GENERAL NOTES
N-2	GENERAL NOTES
S-1	MONOPOLE PROFILE
S-2	FLANGE DETAILS
S-3	AFS400 FOUNDATION DETAILS
SS-4	AFS400 KINGPOST PLATE DETAILS
SS-5	AFS400 FOUNDATION REINFORCING DETAILS

PRESUMPTIVE SOIL DESIGN PARAMETERS	
NET ULTIMATE BEARING (PSF)	4000
NET ALLOWABLE BEARING (PSF)	2000
FACTOR OF SAFETY	2
SOIL DENSITY (PCF)	110
FRICTION ANGLE (°)	30
GROUNDWATER TABLE	BELOW FOUNDATION

FACTORED BASE REACTIONS	
SHEAR (KIPS)	7.3
AXIAL (KIPS)	3.7
MOMENT (KIP-FT)	155.8

MANUFACTURER:	ARE TELECOM
MFR PROJECT #:	OPE-00002
MONOPOLE MODEL #:	24.4m 4SF, A, 03/24/2021
FOUNDATION MODEL #:	AFS-400, A, 04/07/2021

SITE: UNALASKA, AK  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE

PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
DESIGNED BY:	KMJ
CHECKED BY:	
DATE:	10/7/2022



TITLE SHEET

T-1

REV	DATE	DESCRIPTION

**GENERAL NOTES:**

1. ALL INFORMATION SHOWN IS TO BE COORDINATED BY THE CONTRACTOR AND OWNER. IF INFORMATION IS CONFLICTING, THE STRICTER PROVISION SHALL GOVERN. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF ARE TELECOM AND PAUL J. FORD AND COMPANY SO THAT ANY CHANGES AND/OR ADJUSTMENTS, IF NECESSARY, CAN BE MADE TO THE DESIGN AND DRAWINGS.
2. DO NOT SCALE DRAWINGS.
3. FIELD WELDING IS NOT PERMITTED UNLESS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD.
4. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DOCUMENTS. THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
5. THE STRUCTURAL INTEGRITY OF THE DESIGN EXTENDS TO THE COMPLETE CONDITION ONLY. ALL NECESSARY PRECAUTIONS MUST BE TAKEN TO ENSURE STRUCTURAL INTEGRITY, INCLUDING, BUT NOT LIMITED TO, ENGINEERING ASSESSMENT OF CONSTRUCTION STRESSES WITH INSTALLATION MAXIMUM WIND SPEED AND/OR TEMPORARY BRACING AND SHORING.
6. AERIAL AND UNDERGROUND UTILITIES AND FACILITIES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS. THE GC SHALL TAKE EVERY PRECAUTION TO PRESERVE AND PROTECT THESE ITEMS, WHICH MAY INCLUDE AERIAL OR UNDERGROUND POWER LINES, TELEPHONE LINES, WATER LINES, SEWER LINES, CABLE TELEVISION FACILITIES, PIPELINES, STRUCTURES AND OTHER PUBLIC AND PRIVATE IMPROVEMENTS WITHIN OR ADJACENT TO THE WORK AREA. THE RESPONSIBILITY FOR DETERMINING THE ACTUAL ON-SITE LOCATION OF THESE ITEMS SHALL REST EXCLUSIVELY WITH THE GC.

**STEEL NOTES**

1. ALL REQUIRED ITEMS SHALL BE FABRICATED PER THE MATERIALS SPECIFIED BELOW, UNO ON THE DETAIL DRAWING SHEETS. IF THE FABRICATOR FINDS FOR ANY COMPONENT THAT THE MATERIALS HAVE NOT BEEN CLEARLY SPECIFIED, THE FABRICATOR SHALL SUBMIT AN RFI TO THE EOR TO CONFIRM THE REQUIRED MATERIAL

ALL STRUCTURAL ELEMENTS SHALL BE NEW AND SHALL CONFORM TO THE FOLLOWING REQUIREMENTS, UNO:

POLE SHAFT STEEL:	ASTM A572 GRADE 50 (FY = 50 KSI)
BASE PLATE STEEL:	ASTM A572 GRADE 50 (FY = 50 KSI)
ANCHOR RODS:	ASTM F1554 GRADE 55 (FY = 55 KSI)
FLANGE PLATES:	ASTM A572 GRADE 50 (FY = 50 KSI)
BOLTS:	ASTM A325X
PLATES:	ASTM A572 GRADE 50 (FY=50 KSI)
ROUND HSS:	ASTM A500 GRADE 42 (FY = 42 KSI)
SQUARE HSS:	ASTM A500 GRADE 46 (FY = 46 KSI)
ALL OTHER STEEL SHAPES:	ASTM A572 GRADE 50 (FY = 50 KSI)
WELDING ELECTRODES:	E80XX / E8XT-XX

2. ALL WELD DESIGN, WELD DETAILING AND WELDING SHALL CONFORM TO THE LATEST EDITION OF AWS D1.1
3. AFTER FABRICATION, HOT-DIP GALVANIZE ALL STEEL ITEMS, UNO. GALVANIZE PER ASTM A123, ASTM A153/A153M, OR ASTM A653 G90, AS APPLICABLE. ASTM A490 BOLTS SHALL NOT BE HOT-DIP GALVANIZED BUT SHALL INSTEAD BE COATED WITH MAGNI 565 OR EOR APPROVED EQUIVALENT, PER ASTM F2833.
4. ALL COMPLETE JOINT PENETRATION GROOVE WELDS CONTAINED IN JOINTS AND SPLICES SHALL BE TESTED 100 PERCENT BY ULTRASONIC TESTING PRIOR TO AND AFTER GALVANIZING.
5. GALVANIZED SURFACES DAMAGED DURING TRANSPORTATION OR ERECTION AND ASSEMBLY AS WELL AS ANY ABRASIONS, CUTS, FIELD DRILLING, AND FIELD WELDING SHALL BE TOUCHED UP WITH TWO COATS OF ZRC-BRAND (OR APPROVED EQUIVALENT) ZINC-RICH COLD GALVANIZING COMPOUND. FILM THICKNESS PER COAT SHALL BE: WET 3 MILS; DRY 1.5 MILS APPLY PER ZRC (MANUFACTURER) RECOMMENDED PROCEDURES. CONTACT ZRC AT 1-800-831-3275 FOR PRODUCT INFORMATION.

**SPECIAL INSPECTION:**

1. CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THE "STATEMENTS OF SPECIAL INSPECTION" SHALL SUBMIT A

WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH SYSTEM OR COMPONENT PER SECTION 1704.4 OF THE 2012 IBC.

2. SPECIAL INSPECTION FOR STEEL, CONCRETE, SOILS AND PIER SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1705 OF THE 2012 IBC.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OR INSPECTION AGENCY (AND OR THE INSPECTING GEOTECHNICAL ENGINEER) PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION. WORK REQUIRING SPECIAL INSPECTION THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE SPECIAL INSPECTOR IS SUBJECT TO REMOVAL.
4. SPECIAL INSPECTION IS NOT A SUBSTITUTION FOR INSPECTION BY A CITY INSPECTOR.
5. THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE LOCAL JURISDICTION TO PERFORM THE TYPES OF INSPECTION REQUIRED.
6. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION. ALL TESTING AND INSPECTIONS SHALL BE DONE BY AN APPROVED SPECIAL INSPECTOR.

**ERECTION NOTES:**

1. ALL CONSTRUCTION MEANS AND METHODS, INCLUDING BUT NOT LIMITED TO ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS, SHALL BE THE RESPONSIBILITY OF THE GC RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION), INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH THE ANSI/TIA-322 (LATEST EDITION).
2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY AND STABILITY OF THE MONOPOLE, FOUNDATION AND ITS COMPONENT PARTS DURING INSTALLATION.
3. ALL MANUFACTURER'S HARDWARE ASSEMBLY INSTRUCTIONS SHALL BE FOLLOWED, UNO. CONFLICTING NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE EOR AND THE OWNER'S POC.
4. ALL JOINTS USING ASTM A325 OR A490 BOLTS, U-BOLTS, V-BOLTS, THREADED RODS, AND ANCHOR RODS SHALL BE SNUG TIGHTENED, UNO.
5. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED SNUG TIGHTENED ASTM A325 OR A490 BOLTS, U-BOLTS, V-BOLTS, THREADED RODS, AND ANCHOR RODS.
6. ALL JOINTS ARE BEARING TYPE CONNECTIONS UNO. IF NO BOLT LENGTH IS GIVEN IN THE BILL OF MATERIALS, THE CONNECTION MAY INCLUDE THREADS IN THE SHEAR PLANES, AND THE GC IS RESPONSIBLE FOR SIZING THE LENGTH OF THE BOLT.
7. ALL PROPOSED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
8. IF ASTM A325 OR A490 BOLTS, AND/OR THREADED RODS ARE SPECIFIED TO BE PRE-TENSIONED, THESE SHALL BE INSTALLED AND TIGHTENED TO THE PRETENSIONED CONDITION ACCORDING TO THE REQUIREMENTS OF THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM HIGH STRENGTH BOLTS.

**GEOTECHNICAL AND SOIL NOTES:**

1. THIS FOUNDATION DESIGN WAS BASED ON THE SOIL PARAMETERS LISTED ON SHEET T-1. A GEOTECHNICAL REPORT WAS NOT PROVIDED FOR THE SITE. THEREFORE, THE FOUNDATION DESIGN IS BASED UPON AN ASSUMED BEARING PRESSURE. THE PREPARED SUBGRADE (FOUNDATION BEARING SURFACE) SHALL HAVE A MINIMUM ULTIMATE BEARING PRESSURE AS NOTES ON SHEET T-1.
2. THE MATERIAL BELOW THE FOUNDATION SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER TO ACHIEVE ADEQUATE DESIGN CAPACITY. IF THE SOIL CONDITIONS DO NOT MEET THE PRESUMPTIVE SOIL PARAMETERS, PAUL J. FORD AND COMPANY SHALL BE CONTACTED IMMEDIATELY TO DETERMINE THE SIGNIFICANCE IN DEVIATION.

**GENERAL FOUNDATION NOTES:**

1. THE FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES.

2. WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND SAFETY REGULATIONS. THE FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE LOCAL BUILDING OFFICIALS FOR ANY INSPECTIONS THAT MAY BE REQUIRED.
3. THE CONTRACTOR MUST BE EXPERIENCED IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED ON THESE DRAWINGS. BY ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED TO DO THIS WORK IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.
4. CONTRACTOR SHALL REFER TO AMERICAN RESOURCE & ENERGY (ARE) ASSEMBLY AND INSTALLATION INSTRUCTIONS FOR THE FOUNDATION SYSTEM BEING INSTALLED AT THE SITE.
5. IF MATERIALS, QUANTITIES, STRENGTHS OR SIZES INDICATED BY THE DRAWINGS OR SPECIFICATIONS ARE NOT IN AGREEMENT WITH THESE NOTES, THE BETTER QUALITY AND/OR GREATER QUANTITY, STRENGTH OR SIZE INDICATED, SPECIFIED OR NOTED SHALL BE PROVIDED.
6. ALL STRUCTURAL BOLTS SHALL BE INSTALLED AND TIGHTENED TO THE PRETENSIONED CONDITION ACCORDING TO THE REQUIREMENTS OF THE AISC 'SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS', DEC. 31, 2009. REFER TO THE ARE ASSEMBLY AND INSTALLATION INSTRUCTIONS (SEE NOTE 4).
7. BACKFILL / BALLAST MATERIAL SHALL HAVE A MINIMUM UNIT WEIGHT OF 110 POUNDS PER CUBIC FOOT (PCF). CONTRACTOR SHALL COMPACT SOIL AS NEEDED TO ACHIEVE THE MINIMUM REQUIRED UNIT WEIGHT.

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**ARE TELECOM INCORPORATED**  
 1043 GRAND AVE #213 ST PAUL, MN 55105  
 PH: (240) 584-9714

**SITE: UNALASKA, AK**  
**UNALASKA, ALASKA**  
**PROPOSED 41'-9 3/4" MONOPOLE**



10/11/22

PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
DESIGNED BY:	KMJ
CHECKED BY:	
DATE:	10/7/2022

**GENERAL NOTES**

**N-1**

REV	DATE	DESCRIPTION
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**STRUCTURAL STEEL**

1. STRUCTURAL STEEL MATERIALS, FABRICATION, DETAILING, AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING REFERENCE STANDARDS:
  - a. BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC):
    - b. "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS."
    - c. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM HIGH STRENGTH BOLTS," AS APPROVED BY THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS.
    - d. "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"
  - e. BY THE AMERICAN WELDING SOCIETY (AWS):
    - f. "STRUCTURAL WELDING CODE - STEEL D1.1."
    - g. "STANDARD SYMBOLS FOR WELDING, BRAZING, AND NONDESTRUCTIVE EXAMINATION"
2. ALL STRUCTURAL BOLTS SHALL BE INSTALLED AND TIGHTENED TO THE PRETENSIONED CONDITION ACCORDING TO THE REQUIREMENTS OF THE CURRENT AISC 'SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS'.
3. ANY MATERIAL OR WORKMANSHIP WHICH IS OBSERVED TO BE DEFECTIVE OR INCONSISTENT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED, MODIFIED, OR REPLACED AT THE CONTRACTOR'S EXPENSE.
4. WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISED CODE OF THE AMERICAN WELDING SOCIETY, AWS D1.1. ALL WELD ELECTRODES SHALL BE E80XX UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ALL WELDED CONNECTIONS SHALL BE MADE BY WELDERS CERTIFIED BY AWS. CONTRACTOR SHALL SUBMIT WELDERS' CERTIFICATION AND QUALIFICATION DOCUMENTATION TO OWNER'S TESTING AGENCY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
6. STRUCTURAL STEEL PLATES SHALL CONFORM TO ASTM A572 GRADE 65(FY = 65 KSI MIN.) UNLESS NOTED OTHERWISE ON THE DRAWINGS.
7. SURFACES OF EXISTING STEEL SHALL BE PREPARED AS REQUIRED FOR FIELD WELDING PER AWS. SEE SECTION I NOTES REGARDING TOUCH UP OF GALVANIZED SURFACES DAMAGED DURING TRANSPORTATION OR ERECTION AND ASSEMBLY AS WELL AS FIELD WELDING.
8. NO WELDING SHALL BE DONE TO THE EXISTING STRUCTURE WITHOUT THE PRIOR APPROVAL AND SUPERVISION OF THE TESTING AGENCY.
9. FIELD CUTTING OF STEEL:
  - a. IMPORTANT CUTTING AND WELDING SAFETY GUIDELINES: THE CONTRACTOR SHALL FOLLOW ALL OWNER CUTTING, WELDING, FIRE PREVENTION AND SAFETY GUIDELINES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A COPY OF THE CURRENT OWNER GUIDELINES. ANY DAMAGE TO THE COAX CABLES, AND/OR OTHER EQUIPMENT AND/OR THE STRUCTURE, RESULTING FROM THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE INSPECTION/TESTING AGENCY SHALL CLOSELY AND CONTINUOUSLY MONITOR THIS ACTIVITY.
  - b. ALL REQUIRED CUTS SHALL BE CUT WITHIN THE DIMENSIONS SHOWN ON THE DRAWINGS. NO CUTS SHALL EXTEND BEYOND THE OUTLINE OF THE DIMENSIONS SHOWN ON THE DRAWINGS. ALL CUT EDGES SHALL BE GROUND SMOOTH AND DE-BURRED. CUT EDGES THAT ARE TO BE FIELD WELDED SHALL BE PREPARED FOR FIELD WELDING PER AWS D1.1 AND AS SHOWN ON THE DRAWINGS. CONTRACTOR TO AVOID 90 DEGREE CORNERS. IT MAY BE NECESSARY TO DRILL STARTER HOLES AS REQUIRED TO MAKE THE CUTS.

**HOT-DIP GALVANIZING**

1. HOT-DIP GALVANIZE ALL STRUCTURAL STEEL MEMBERS AND ALL STEEL ACCESSORIES, BOLTS, WASHERS, ETC. PER ASTM A123 OR PER ASTM A153, AS APPROPRIATE.
2. PROPERLY PREPARE STEEL ITEMS FOR GALVANIZING.
3. DRILL OR PUNCH WEEP AND/OR DRAINAGE HOLES WITH EOR APPROVAL OF LOCATIONS.
4. ALL GALVANIZING SHALL BE DONE AFTER FABRICATION IS COMPLETED AND PRIOR TO FIELD INSTALLATION.

**PERPETUAL INSPECTION AND MAINTENANCE BY THE OWNER**

1. AFTER THE CONTRACTOR HAS SUCCESSFULLY COMPLETED THE INSTALLATION OF THE MONOPOLE REINFORCING SYSTEM AND THE WORK HAS BEEN ACCEPTED BY OWNER, OWNER WILL BE RESPONSIBLE FOR THE LONG TERM AND PERPETUAL INSPECTION AND MAINTENANCE OF THE POLE AND REINFORCING SYSTEM.
2. ANY FIELD WELDED CONNECTIONS ARE SUBJECT TO CORROSION DAMAGE AND DETERIORATION IF THEY ARE NOT PROPERLY MAINTAINED AND COVERED WITH CORROSION PREVENTIVE COATING SUCH AS THE ZRC GALVANIZING COMPOUND SPECIFIED PREVIOUSLY. THE STRUCTURAL LOAD CARRYING CAPACITY OF THE REINFORCED POLE SYSTEM IS DEPENDENT UPON THE INSTALLED SIZE AND QUALITY, MAINTAINED SOUND CONDITION AND STRENGTH OF THESE FIELD WELDED CONNECTIONS. ANY CORROSION OF, DAMAGE TO, FATIGUE, FRACTURE, AND/OR DETERIORATION OF THESE WELDS AND/OR THE EXISTING GALVANIZED STEEL POLE STRUCTURE AND THE WELDED COMPONENTS WILL RESULT IN THE LOSS OF STRUCTURAL LOAD CARRYING CAPACITY AND MAY LEAD TO FAILURE OF THE STRUCTURAL SYSTEM. THEREFORE, IT IS IMPERATIVE THAT OWNER REGULARLY INSPECTS, MAINTAINS, AND REPAIRS AS NECESSARY, ALL OF THESE WELDS, CONNECTIONS, AND COMPONENTS FOR THE LIFE OF THE STRUCTURE.

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**SITE: UNALASKA, AK**  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE

PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
DESIGNED BY:	KMJ
CHECKED BY:	
DATE:	10/7/2022

GENERAL NOTES

N-2



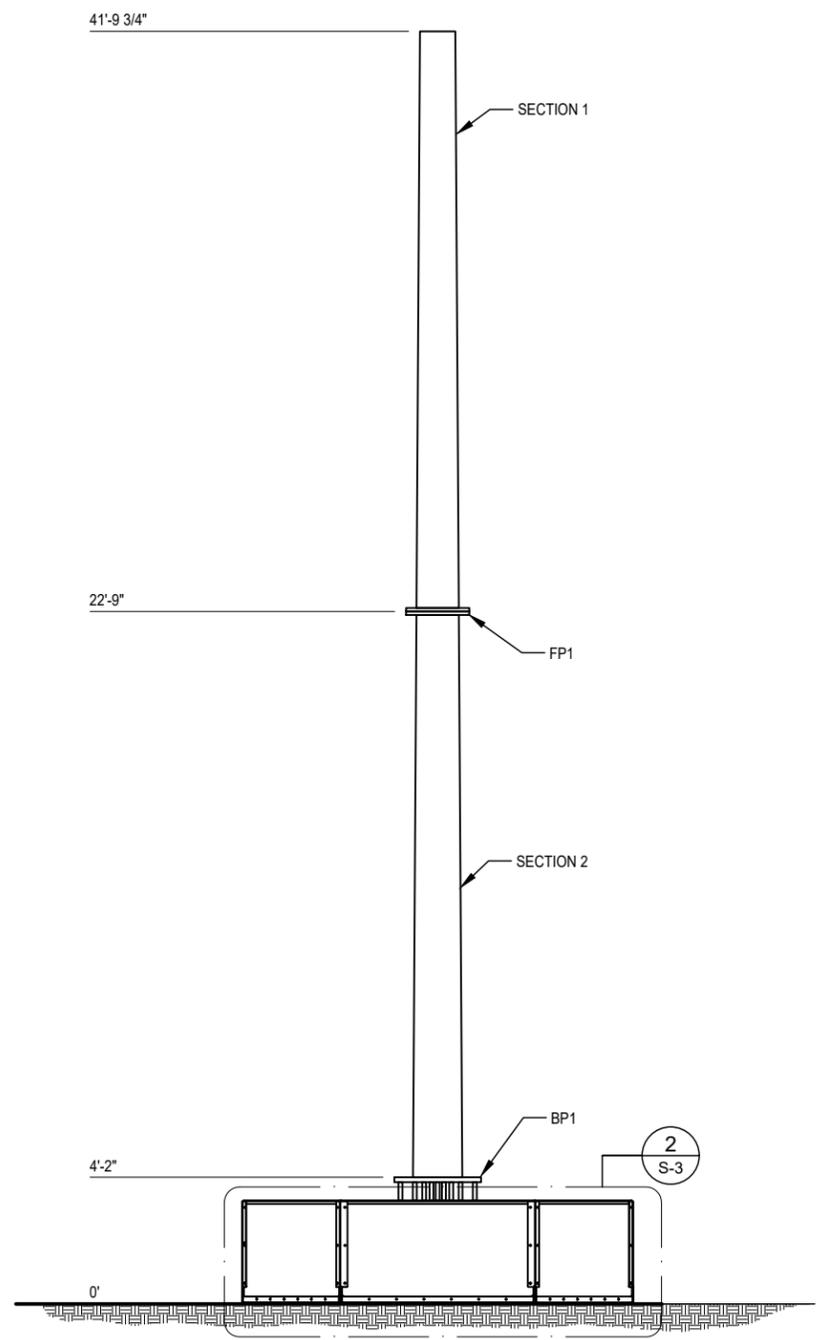
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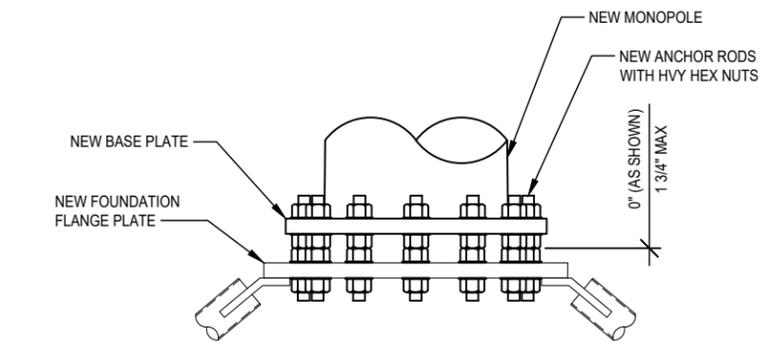
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MANUFACTURER POLE SPECIFICATIONS					
TAPER		0.0122206			
SHAFT SECTION DATA					
SHAFT SECTION	SECTION LENGTH (FT)	POLE SHAFT THICKNESS (IN)	DIAMETER ACROSS FLATS (IN)		POLE SHAPE
			@ TOP	@ BOTTOM	
1	18.946	0.1969	13.980	16.713	12-SIDED
2	18.946	0.3150	16.713	19.488	12-SIDED

ANTENNA LIST				
ELEVATION	ANTENNA QTY	ANTENNA MAKE/MODEL	COAX QTY	COAX DIAM/TYPE
33'-0"	3	CCI HPA45R-KE5A	-	-
	1	ARE UNIVERSAL TRI MOUNT W/ 12" STANDOFF		
28'-0"	6	AIRSPAN AIRHARMONY 4000	9	7/8
23'-0"	1	AIRFIBER AF-11G35	-	-
	1	AIRFIBER AF-11FX		



**POLE ELEVATION** (1/S-1)



**POLE TO FOUNDATION CONNECTION** (2/S-1)



10/11/22

REV	DATE	DESCRIPTION

**SITE: UNALASKA, AK**  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE

PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
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MONOPOLE PROFILE

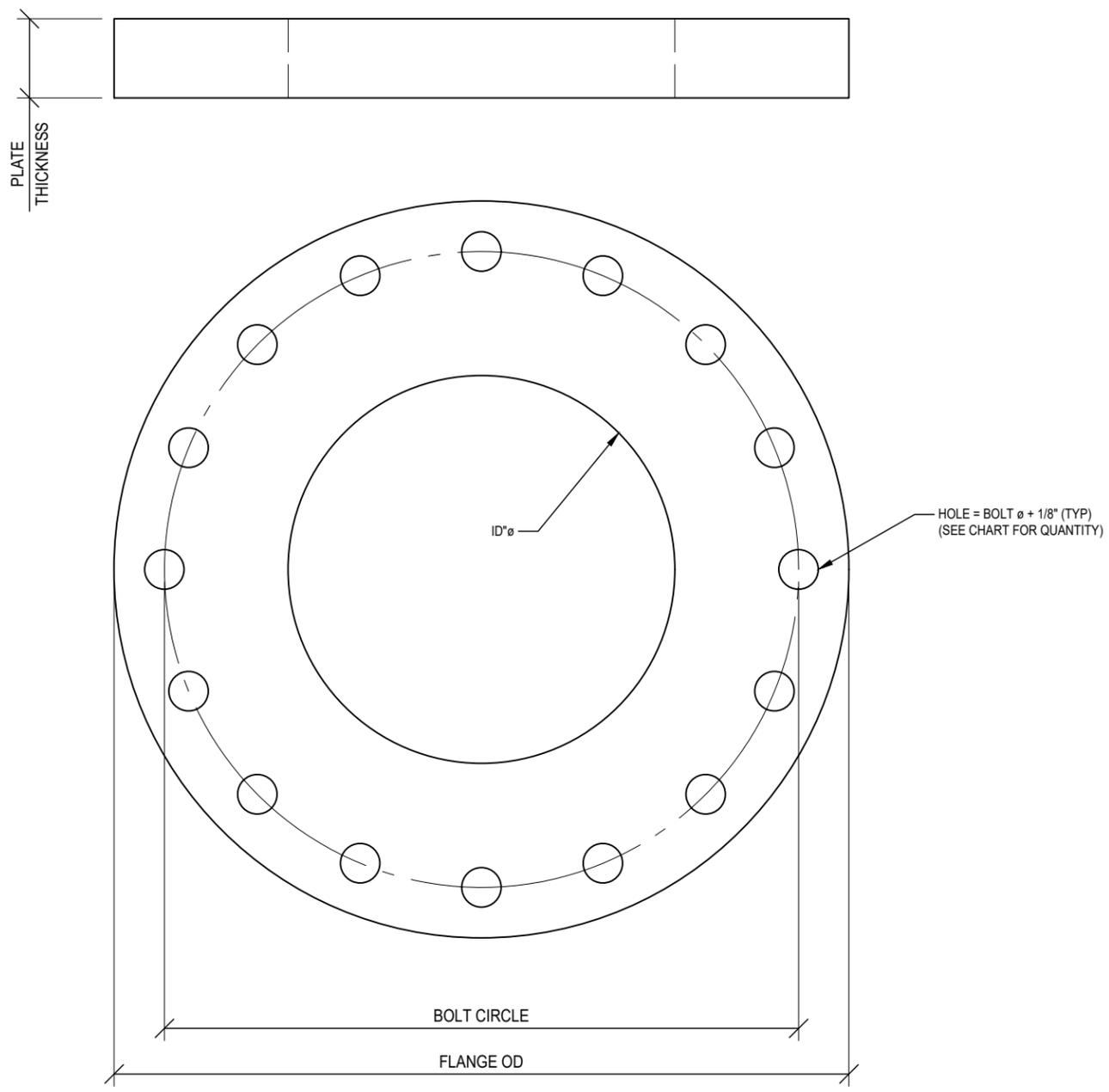
S-1

V1.0 21222-0016.003.DWG

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**SITE: UNALASKA, AK**  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE



**FLANGE DETAIL**

BASE PLATE AND/OR FLANGE PLATE								
PART #	ELEVATION	QTY	PLATE			BOLT DATA		
			OD (IN)	ID (IN)	THICKNESS (IN)	QTY	DIAMETER (IN)	BOLT CIRCLE (IN)
FP1	22'-9"	2	25.00	13.78	1.378	12	1.50	21.063
BP1	4'-2"	1	28.35	15.16	1.574	12	1.50	24.409



PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
DESIGNED BY:	KMJ
CHECKED BY:	
DATE:	10/7/2022

FLANGE  
DETAILS

S-2

REV	DATE	DESCRIPTION

V1.0 21222-0016.003.DWG

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**PAUL J. FORD & COMPANY**  
 250 E Broad St. Ste 600 Columbus, OH 43215  
 Phone 614.221.6679 www.pauljford.com  
**ARE TELECOM INCORPORATED**  
 1043 GRAND AVE #213 ST PAUL, MN 55105  
 PH: (240) 584-9714

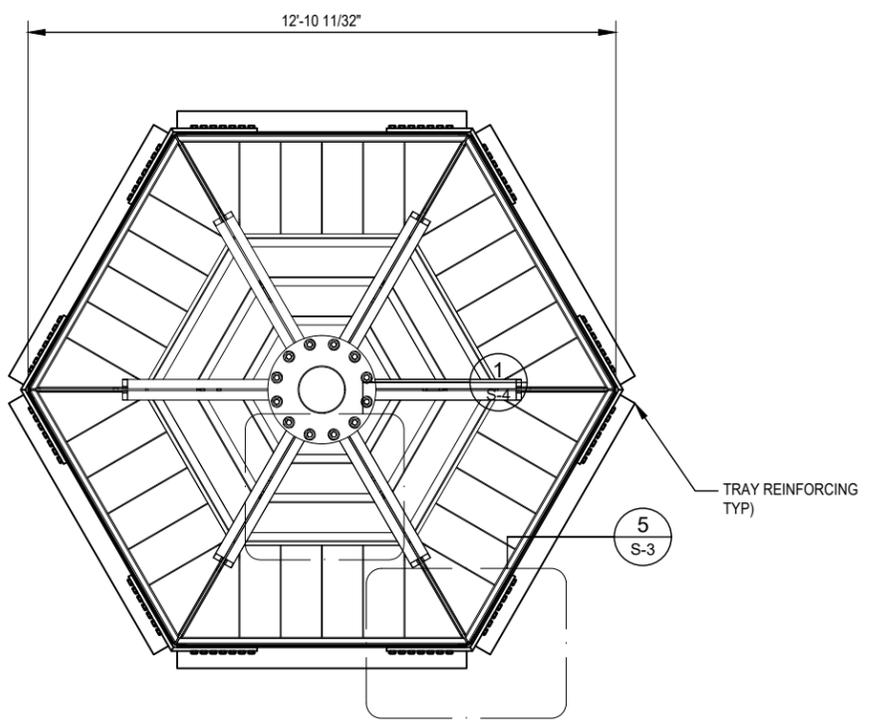
**SITE: UNALASKA, AK**  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE

PROJECT No: 21222-0016.003.7205  
 DRAWN BY: RMK  
 DESIGNED BY: KMJ  
 CHECKED BY:  
 DATE: 10/7/2022

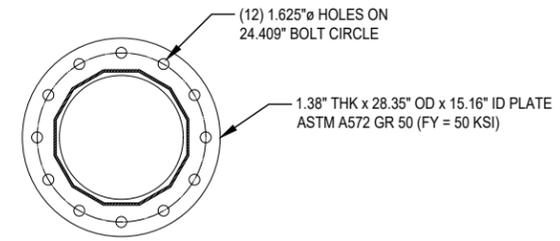
AFS400  
 FOUNDATION  
 DETAILS

S-3

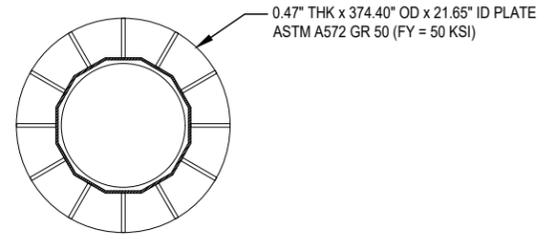
MEMBER SCHEDULE			
MEMBER	DESCRIPTION	MATERIAL SPECIFICATION *	LENGTH
A	0.16" THK x 5.56" BENT PLATE	Q345B	32.28"
B	L 4.0 x 2.5 x 0.25	Q345B	44.5"
C	0.39" THK WALL X 23.62" DF (12 SIDES) POLE SHAFT	Q345B	63"
D	L 2.5 x 2.5 x 0.25	Q345B	23.23"
E	0.50 THK x 6.38" PLATE	Q345B	24.45"
F	0.20" TRAPEZOIDAL TRAY PLATE	Q345B	-
G	0.50 THK x 17.5" PLATE	Q345B	31.5"
* MATERIAL EQUIVALENTS	Q345B = ASTM A572 GR 50 (Fy = 50 KSI)		
	20# = ASTM A53 GR B (Fy = 35 KSI)		
	Q235B = ASTM A36 (Fy = 36 KSI)		
ALL STRUCTURAL BOLTS SHALL CONFORM TO ASTM A325 BOLTS, OR EQUIVALENT, UNO. CONSULT ARE FABRICATION DRAWINGS FOR BOLT QUANTITIES AND SIZES			



PLAN VIEW **1**  
S-3

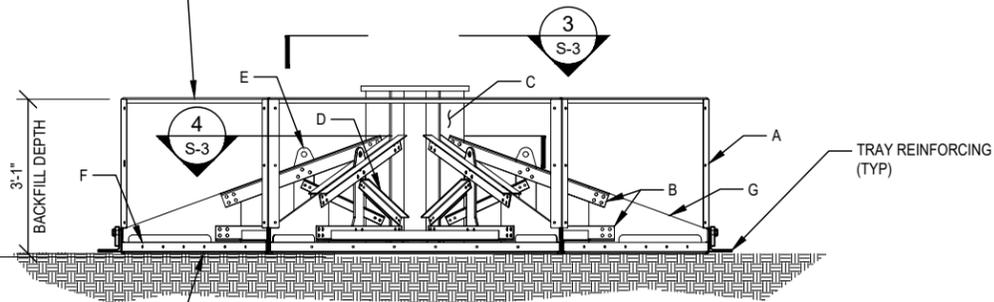


SECTION **3**  
S-3



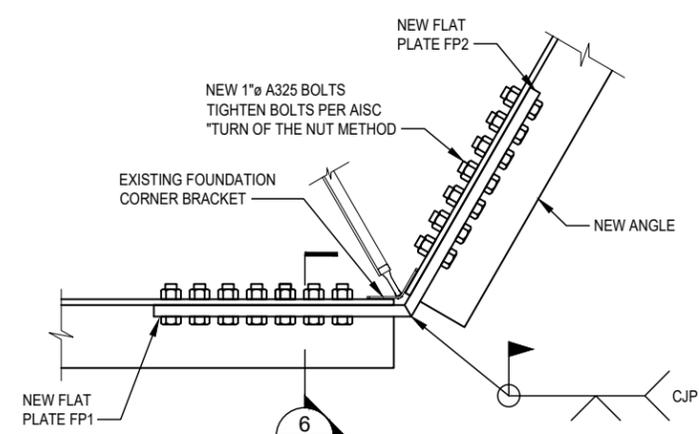
SECTION **4**  
S-3

BACKFILL FOUNDATION WITH GRANULAR SOILS HAVING A UNIT WEIGHT OF 110 PCF. ESTIMATED TOTAL WEIGHT OF BALLAST REQUIRED = 37 KIPS. BACKFILL SHALL BE LEVEL AND SPREAD UNIFORMLY WITHIN INTERIOR OF FOUNDATION

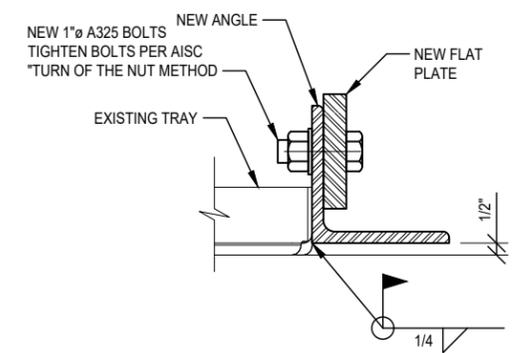


SECTION **2**  
S-3

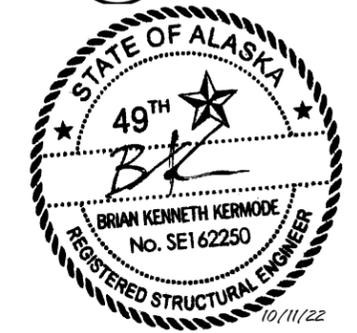
FOUNDATION SHALL BEAR ON COMPACTED SUBGRADE AND/OR INSITU SOIL. SEE GEOTECHNICAL AND SOIL NOTES, NOTE 1 ON SHEET N-1



SECTION **5**  
S-3



SECTION **6**  
S-3

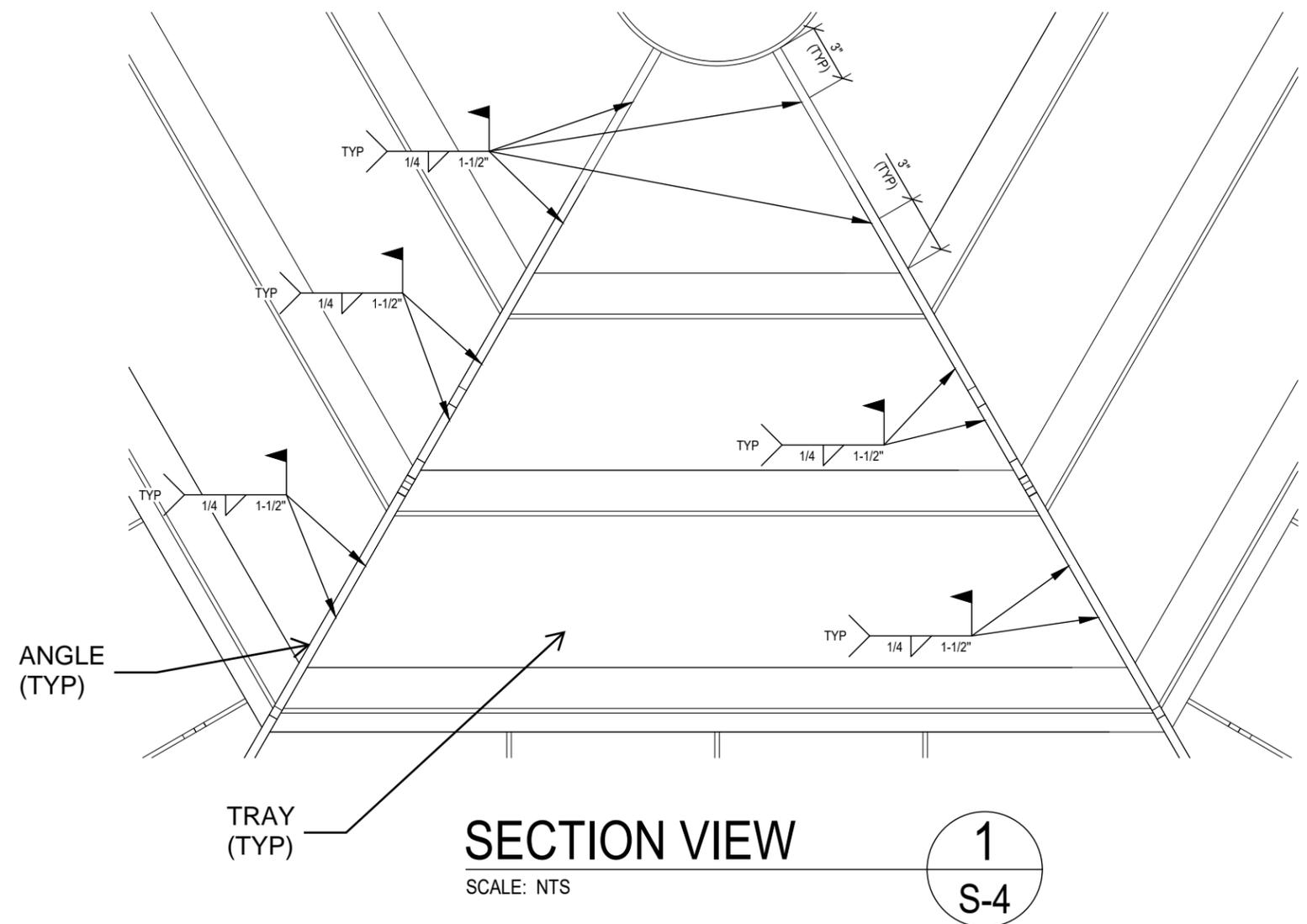


REV	DATE	DESCRIPTION

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**SITE: UNALASKA, AK**  
 UNALASKA, ALASKA  
 PROPOSED 41'-9 3/4" MONOPOLE

PROJECT No:	21222-0016.003.7205
DRAWN BY:	RMK
DESIGNED BY:	KMJ
CHECKED BY:	
DATE:	10/7/2022

AFS400  
 FOUNDATION  
 DETAILS

**S-4**

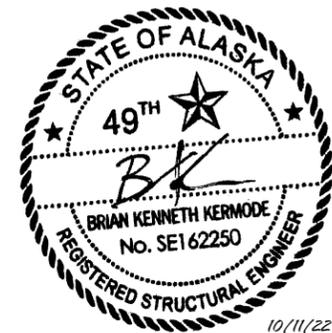
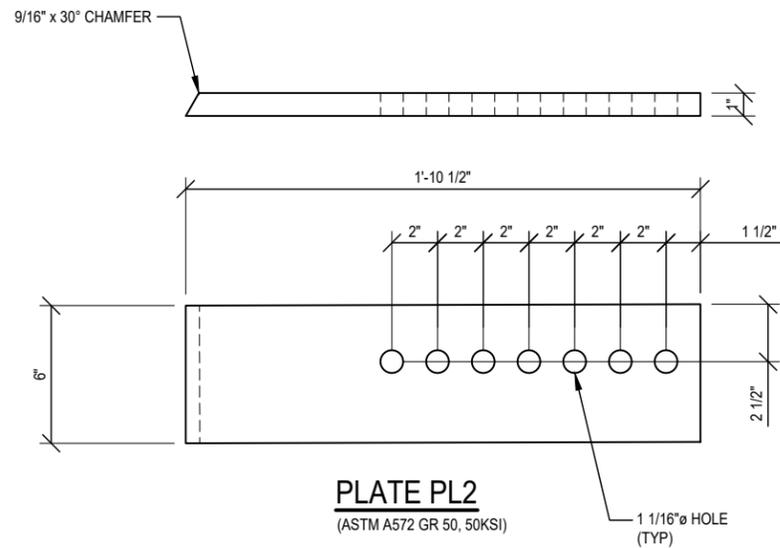
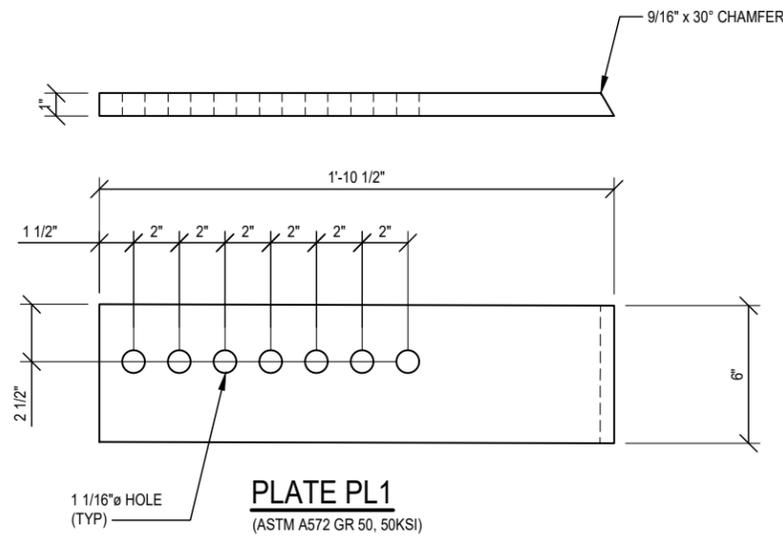
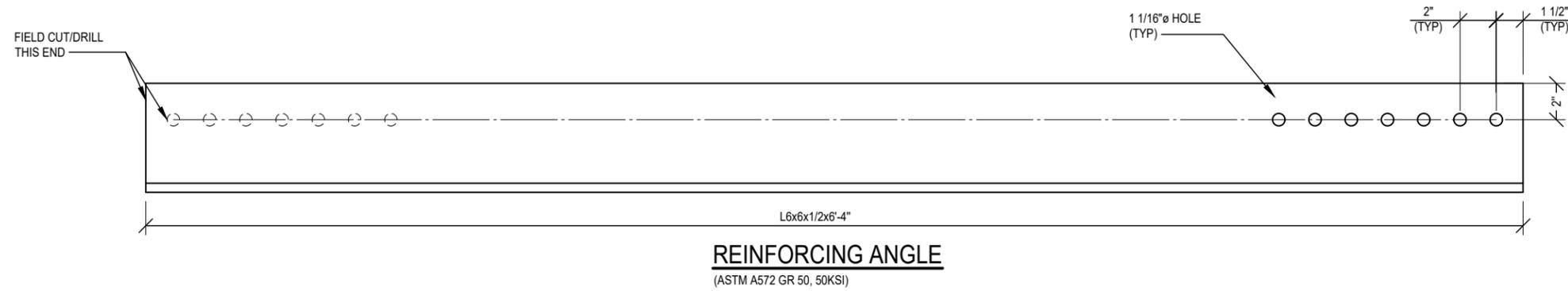


REV	DATE	DESCRIPTION

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 PH: (240) 584-9714



PROJECT No: 21222-0016.003.7205  
 DRAWN BY: RMK  
 DESIGNED BY: KMJ  
 CHECKED BY:  
 DATE: 10/7/2022

AFS400 FOUNDATION  
 REINFORCING  
 DETAILS

S-5

REV	DATE	DESCRIPTION

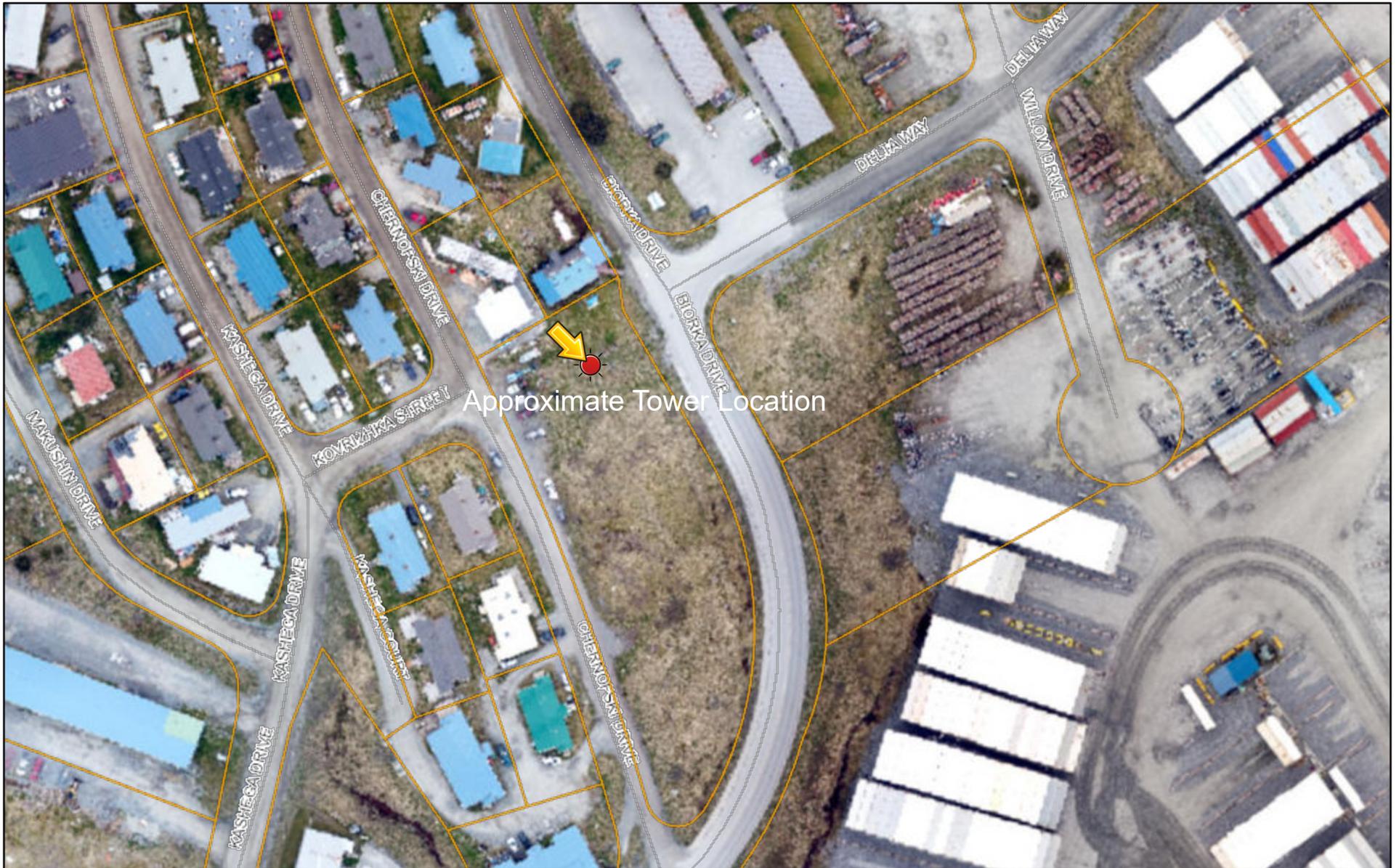
V1.0 21222-0016.003.DWG



OPTIMERA PROPRIETARY AND COMPETITION SENSITIVE | All Rights Reserved

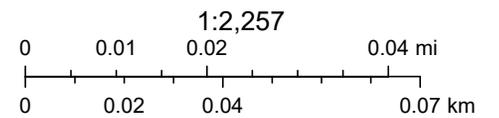
<b>OPTIMERA HOLDINGS INC.</b> <small>OPTIMERA TECHNOLOGY FOR A NEW ERA,          P.O. Box 921134          Dutch Harbor, Alaska 99692</small>		<b>DUNALASHKA CORPORATION LEASED SITE - OPTIMERA</b> <b>LTE MICRO SITE</b> <b>STANDARD OIL HILL</b> <b>COVER</b>			
CHECKED	DRAWN	DATE	SCALE	DRAWING NO.	SHEET
....	MMS	3/27/2023	NTS	STND-SITE-002	1 of 2

# Approximately 75 Chernofski Drive, Resolution 2023-03



3/27/2023, 3:03:29 PM

-  Parcels
-  Streets



**City of Unalaska, Alaska  
Planning Commission/Platting Board  
Resolution 2023-03**

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR A CELLULAR TOWER ON A LOT ZONED HIGH DENSITY RESIDENTIAL ON A LEASED PORTION OF TRACT A, BLOCK 6, ILULAQ SUBDIVISION, PLAT 89-19, AIRD**

**WHEREAS**, UCO 8.08 sets forth the procedures and requirements for the subdivision and platting of land and provides that the Planning Commission/Platting Board shall act as the Platting Authority; and

**WHEREAS**, the Ounalashka Corporation is the owner of Tract A, Block 6, Ilulaq Subdivision, Plat 89-19, Aleutian Islands Recording District (04-03-440); and

**WHEREAS**, the property is zoned High Density Residential; and

**WHEREAS**, UCO §8.12.060(D)(4) specifies utility buildings and facilities, including telephone exchanges; and

**WHEREAS**, OptimERA Holdings, Inc. desires to lease a portion of the lot to place a cellular phone tower and support buildings; and

**WHEREAS**, the landowner and OptimERA Holdings, Inc. have submitted a conditional use permit application to allow a cellular phone tower; and

**WHEREAS**, the City of Unalaska Department of Planning staff has reviewed the request; and

**WHEREAS**, improving telephone and Internet service is a goal of the Unalaska Comprehensive Plan 2020; and

**WHEREAS**, the City of Unalaska Planning Commission held a public hearing on April 20, 2022 to consider this request and to hear testimony of the public; and

**WHEREAS**, notices of the public hearing were posted and mailed; and

**WHEREAS**, the Planning Commission reviewed the application and finds that this conditional use request satisfies the three-part test set forth in UCO §8.12.200(C):

1. Furthers the goals and objectives of the Comprehensive Development Plan;
2. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district; and
3. Will not have a permanent negative impact substantially greater than anticipated from permitted development within the district.

**THEREFORE, BE IT RESOLVED**, that the Planning Commission approves the conditional use permit for a cellular phone tower on a leased portion of Tract A, Block 6, Ilulaq Subdivision, Plat 89-19, filed in the Aleutian Islands Recording District.

PASSED AND APPROVED THIS 20<sup>TH</sup> DAY OF APRIL, 2023, BY THE PLANNING COMMISSION OF THE CITY OF UNALASKA, ALASKA.

\_\_\_\_\_  
Travis Swangel  
Commission Chair

\_\_\_\_\_  
William Homka, AICP, Planning Director  
Secretary of the Commission